



City of Huron
Agenda for the Planning Commission/DRB
Wednesday, May 17, 2023 5:00pm.

- I. **Call to Order**
- II. **Roll Call**
- III. **Adoption of the Minutes (12-14-22, 1-18-23, 2-15-23, 3-15-23)**
- IV. **Audience Comments (3-minute time limit)** *Please step to the podium and state your name and address for the record.
- V. **New Business**

PPN 42-01972.002 912 University Drive Accessory Bldg.
(Glenn Peterman)

PPN 42-61270.001 ConAgra Conceptual Presentation #4

**Motion to set a public hearing for Preliminary Plan Review of
Development Plans for the ConAgra Project. (June 21, 2023 at 5pm)**

- VI. **Staff Report**
- VII. **Adjournment**



TO: Chairman Boyle and Members of the Planning Commission and Design Review Board
FROM: Erik Engle, Planning Director
RE: 912 University Drive- GDM Properties LLC- Accessory Structure
DATE: May 17, 2023

Current Zoning District: I-1 Light Industrial **Parcel No.: 42-01972.002**

Subject Matter/Background

The applicant is seeking site and design approval for the construction of a 6525sf accessory pole building to be used as storage on his parcel located at 912 University Drive in Huron Corporate Park.

Staff Analysis/Recommendation:

As proposed, the 6525sf pole building meets the code regulations for the I-1 Zoning District pursuant to Section 1125.04. The placement of the building will meet the code for setback regulations (25') for properties abutting residentially zoned parcels.

Zoning Requirements – All performance standards have been met.

Site Improvement Requirements –

1. **Sidewalk Requirements (Chapter 1117.09)** – A portion of the site does not contain contiguous sidewalk through the adjacent ROW around the gravel drive.

Landscape Requirements (Chapter 1131.05) – 20 ft buffer yard with 1 landscape island, preferably directly across the new proposed pole barn.

Parking/Driveway Requirements (Chapter 1133.13) – The majority of the drive and parking area is currently an unapproved surface (gravel), which is currently not an acceptable material pursuant to the zoning code. The owner should make plans to address this and pave the drive and apron with either asphalt or concrete accordingly.

Design Review --

1. The exterior siding, and trim will match the existing: Tan metal siding with green trim.

Staff finds the design of the storage building to be appropriate with the surrounding context and compatible with the existing structures on site.

Staff is recommending approval of the building design and site plan with the following conditions –

1. Owner shall pave the apron, drive, and parking area with either concrete or asphalt pursuant to Chapter 1133.16 (Improvement and Maintenance Standards)
2. Owner shall finish constructing the sidewalk along University Drive frontage in order to connect both sides
3. Owner shall incorporate one plant grouping of 3-5 shade trees, 2-4 ornamental trees, 6 evergreen trees, and 30 shrubs pursuant to 1131.06(d) along a 20 ft. buffer yard along the south side of the property adjacent to the Residential zone

Attachments:

- Application & Design Elevations

Planning Commission (PC)

Commercial Site Plan Application/Design Approval- Exterior/Design-Signage Only

DATE: 4-7-23

Property Owner

Name: Glenn Peterman
Address: 912 University Dr. S. Huron Oh. 44839
Phone: 419 656-1715
Email: gbpeterman@gmail.com

Applicant

Name: Glenn Peterman
Company/Business Name: _____
Mailing Address: 912 University Dr. S.
Phone: 419 656 1715
Email: gbpeterman@gmail.com

Location and Description of Project

Address: 912 County Parcel #: 42-01972.002
Existing Use: light manufacture Acreage/Area of Site: 2.0519
Proposed Use: accessory structure Lot # (if applicable): _____
Estimated Value of Project: \$126000 Total SF: 6525

☐

New Construction

☐

Demolition

☐

Addition to Existing Structure

☒

Other: accessory structure

Zoning District:	R-1	R-1A	R-2	R-3	B-1	B-2	B-3	<u>I-1</u>	I-2	P-1	M
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Flood Zone:	A	AE	AO	AH	X (shaded)	<u>X</u>	(Definitions 1135.02(14))
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Description of Project:

Pole building

SECTION 1. SITE PLAN APPROVAL

*The application fee of \$150.00 and a complete site plan with following information must be included with this application and provided in a PDF format:

- ☐ Legal Survey or Plat
- ☐ Dimensions of the Lot/Property Lines
- ☐ Size and Location of the Existing Structure (if applicable)
- ☐ Size and Location of the Proposed Structure
- ☐ Front, Rear, and Side Setbacks of Existing Structure (if applicable)
- ☐ Front, Rear, and Side Setbacks of Proposed Structure
- ☐ Height of the Proposed Structure
- ☐ Location of Sidewalks, Driveways, Drive Aisles, Parking Areas (with markings), Fire
- ☐ Lanes Location of all utility connections and infrastructure
- ☐ Plan for any curb cut/apron connection to public street

***A complete drainage plan must be included for projects that result in grading, paving, site modification, or new construction.**

SECTION 2. DESIGN APPROVAL (EXTERIOR, LANDSCAPING, LIGHTING, SIGNAGE) *

The application fee of \$150.00 and complete plans to include the following information must be included with this application and provided in a PDF format.

- ☐ Photographs of Existing Conditions
- ☐ Elevations of Proposed Modifications
- ☐ Paint or Color Samples
- ☐ Exterior Building Material Samples
- ☐ Landscape Plan
- ☐ Exterior Lighting Plan
- ☐ Commercial Signage- Site Plan, Colored Elevations, Description of sign materials, Illumination specifications. Complete the table below:

Sign Type (circle)				Dimensions			
Sign #	Wall	Window	Other:	Height	Width	Display Area	Height (if ground)
Sign #1:	Ground	Changeable Copy	N/A		X	= sq. ft.	ft.
Sign Type (circle)				Dimensions			
Sign #2:	Ground	Changeable Copy	N/A		X	= sq. ft.	ft.
Sign Type (circle)				Dimensions			
Sign #3:	Ground	Changeable Copy	N/A		X	= sq. ft.	ft.
Sign Type (circle)				Dimensions			
Sign #4:	Ground	Changeable Copy	N/A		X	= sq. ft.	ft.

SECTION 3. DESIGN APPROVAL (COMMERCIAL SIGNAGE ONLY) * The application fee of \$50.00 and complete plans to include the following information must be included with this application and provided in a PDF format.

- ___ Signage Site Plan with all setback dimensions
 ___ Rendering(s) of all signs with detail of dimensions, construction materials, graphics, illumination

Sign Type (circle)				Dimensions			
Sign #1	Wall Ground	Window Changeable Copy	Other:	Height X	Width =	Display Area sq. ft.	Height (if ground) ft.
Sign #2	Wall Ground	Window Changeable Copy	Other:	Height X	Width =	Display Area sq. ft.	Height (if ground) ft.
Sign #3	Wall Ground	Window Changeable Copy	Other:	Height X	Width =	Display Area sq. ft.	Height (if ground) ft.
Sign #4	Wall Ground	Window Changeable Copy	Other:	Height X	Width =	Display Area sq. ft.	Height (if ground) ft.

PLEASE NOTE: Upon approval from the Planning Commission, your project may require Engineering Plan review and Storm Water/Erosion Control Plan review, associated fees will apply. Zoning and/or Building Permits may be required, associated permit fees will apply. All Contractors on your project must be registered with the City. Contact the Planning and Zoning Department with any questions: 419-433-5000 ext. 1302.

X I hereby certify that I am the owner of record of the named property or that the proposed work is authorized by the owner of record and/or I have been authorized to make this application as an authorized agent, and we agree to conform to all applicable laws, regulations, and ordinances. All information contained within this application and supplemental materials is true and accurate to the best of my knowledge and belief.

Applicant Signature: [Signature] Date: 4-7-23

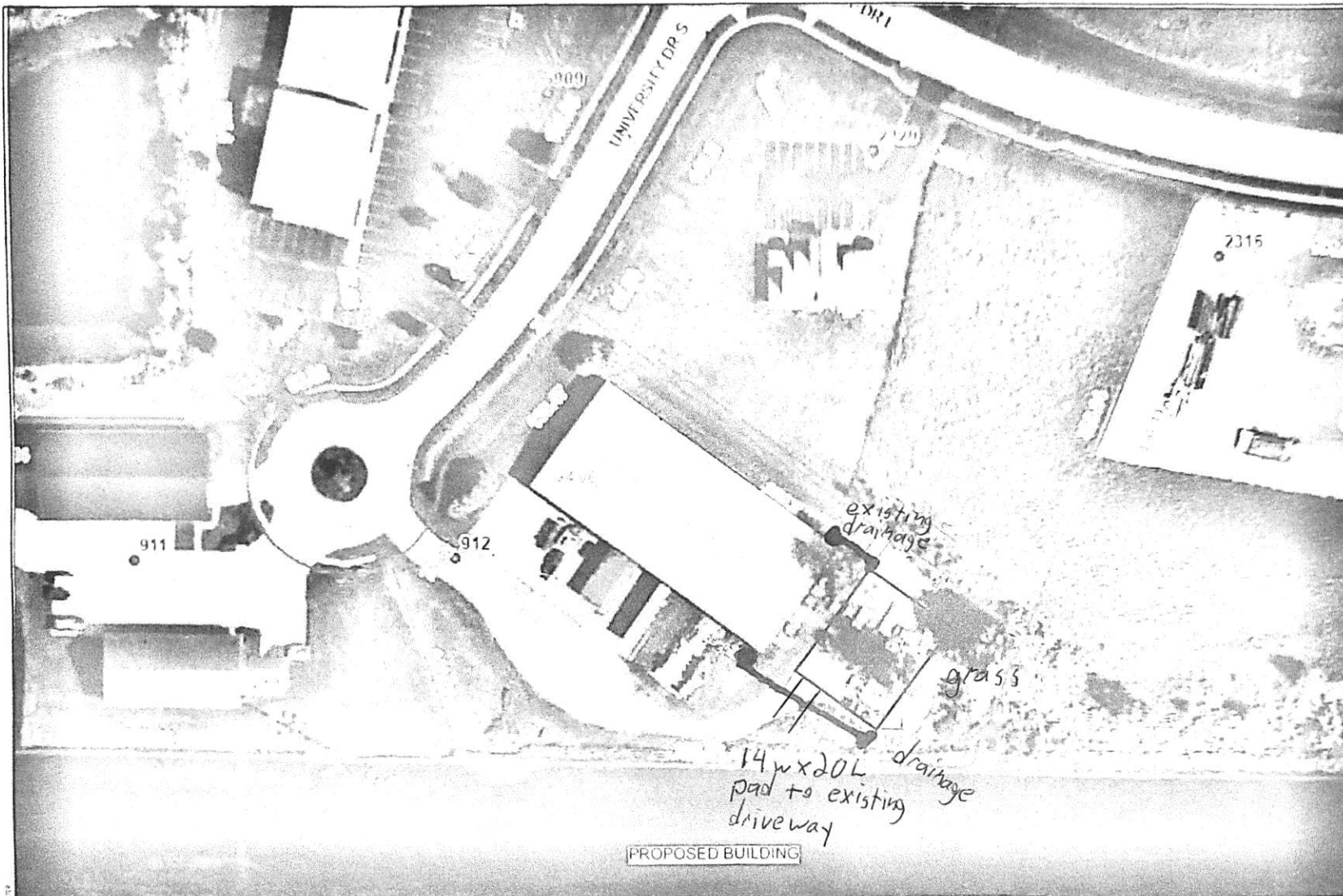
Owner Signature: [Signature] Date: 4-7-23

For Departmental Use Only:

Date of Submission: 4/20/23

Application Fee: _____

PC Meeting Date: May 17, 2023



roof drainage downspouts to be tied in
to corner of existing building underground



DATE	BY	DESCRIPTION	NO.
		REVISION	

ATTICA LUMBER GDM PROPERTIES LLC STORAGE BUILDING SITE PLAN		51
CONTRACTORS DESIGN ENGINEERING CONSULTING ENGINEERS & SURVEYORS NICHOLAS A. CHOD 10111 W. 10th Ave., Suite 100 Overland Park, KS 66211 Tel: 913.241.1111		
DATE: APRIL 2021 BY: [Signature]		PROJECT NO: 23-288

existing conditions



existing conditions



existing drainage
6" drain pipe



Material type and colors. Tan metal siding green trim



File name: 2_L20240212-21112-211-MASTER



PROPOSED BUILDING



DATE	BY	DESCRIPTION	NO.
		REVISIONS	

ATTICA LUMBER
GDM PROPERTIES LLC
STORAGE BUILDING
SITE PLAN

CONTRACTORS
DESIGN ENGINEERING
CONSULTING ENGINEERS & SURVEYORS
NORWALK, OHIO

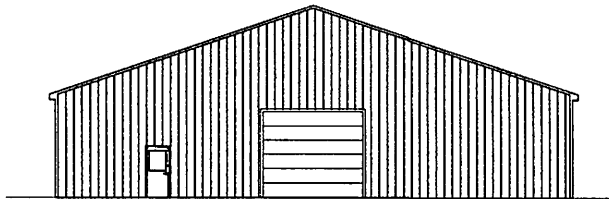
DATE: APRIL 2023
BY: DEW

SCALE: 1" = 40'

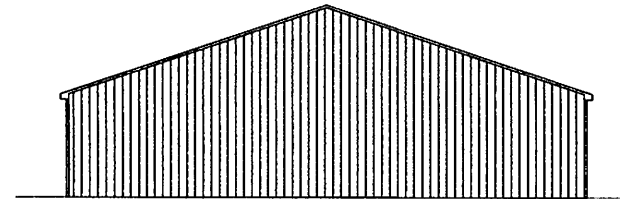
DATE: APRIL 2023
BY: DEW

PROJECT NO: 23-288

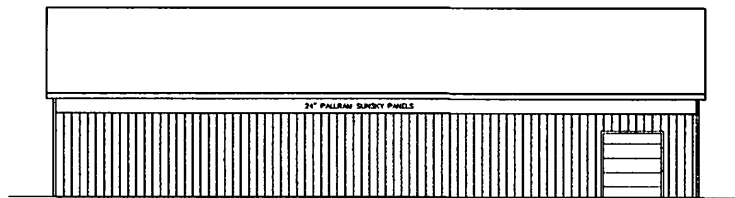
S1



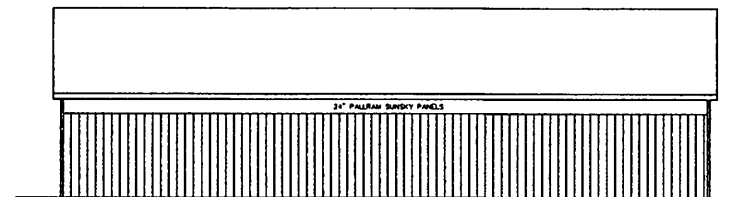
SOUTH ELEVATION



NORTH ELEVATION



WEST ELEVATION



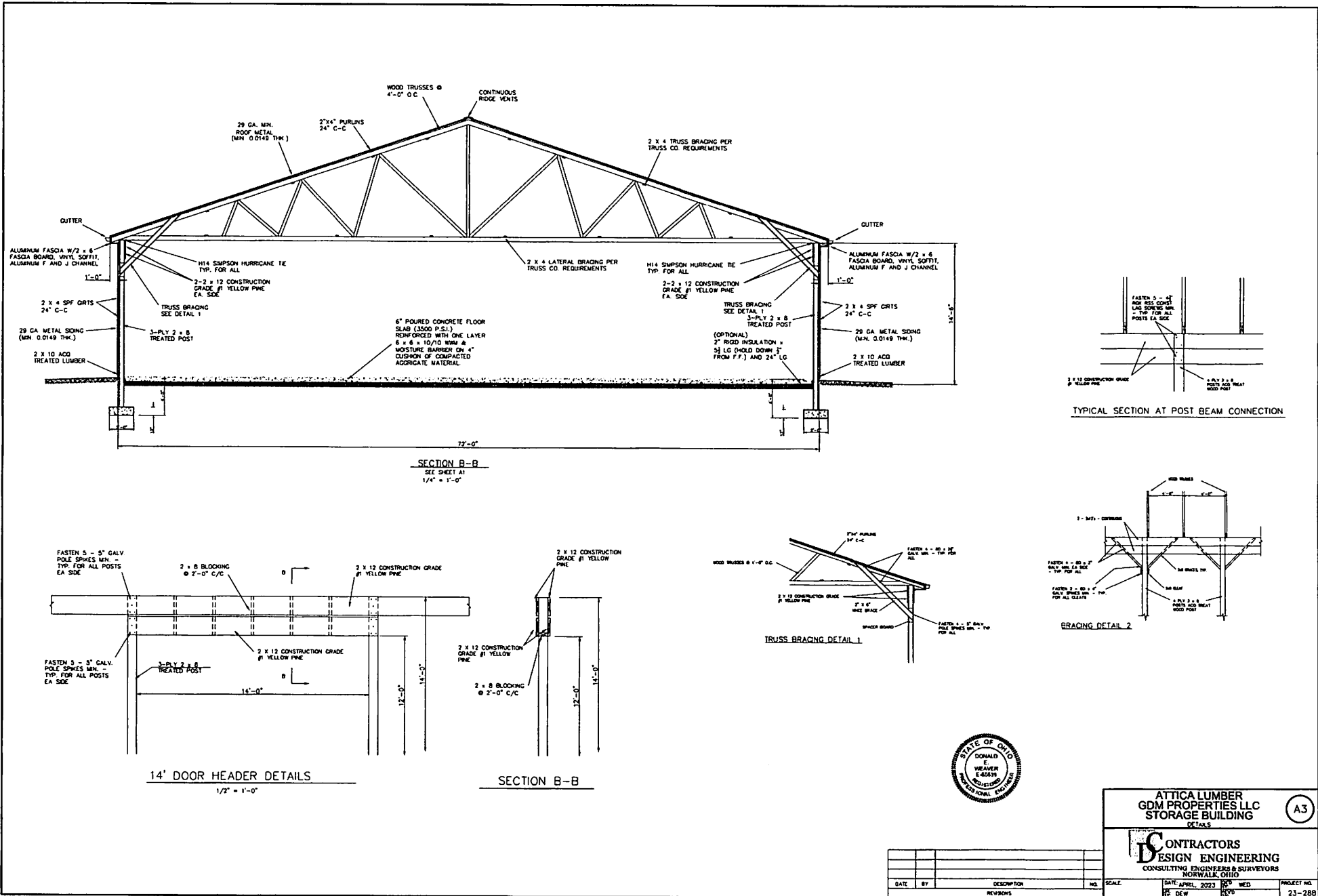
EAST ELEVATION

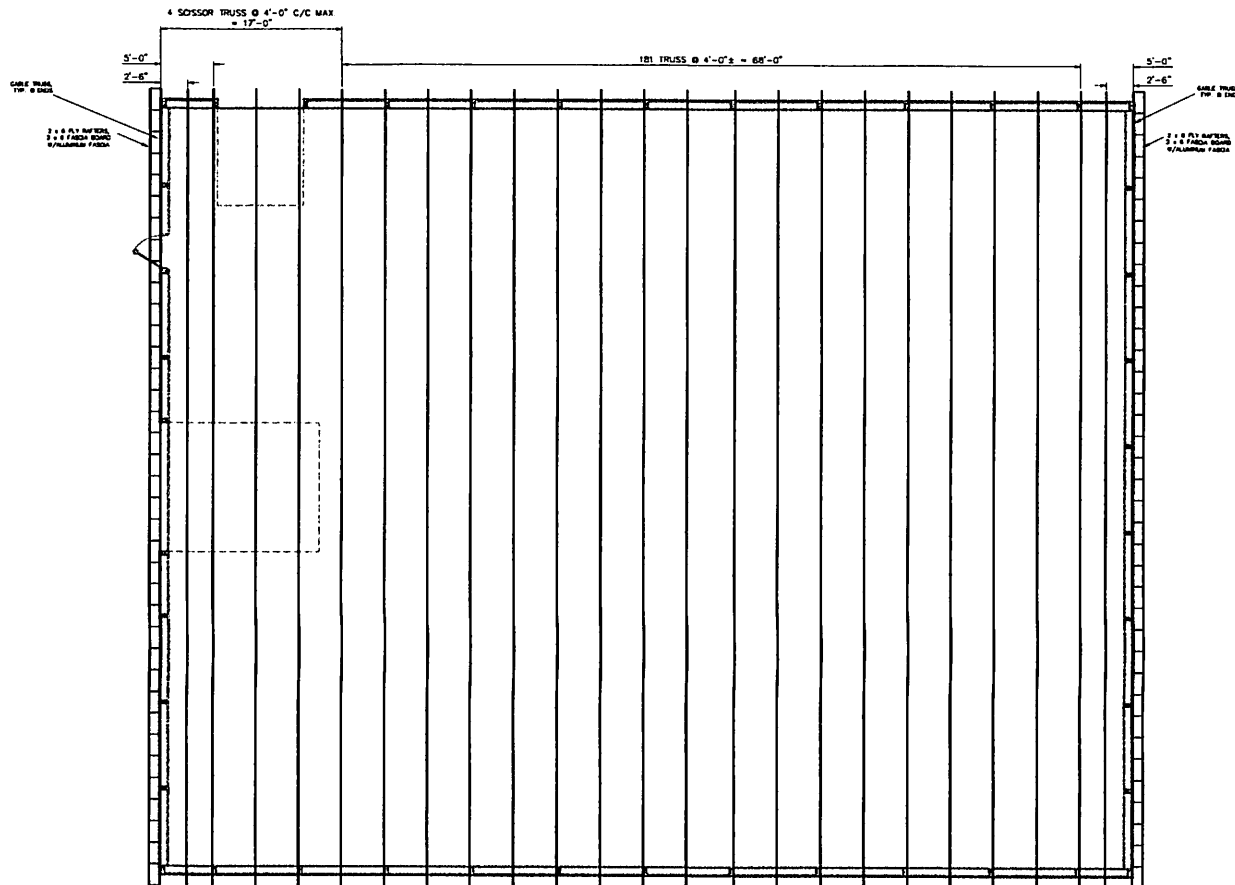


The name: 2:\CE\dwg\13-211\13-211-A1.dwg

DATE	BY	DESCRIPTION	NO.
		REVISIONS	

ATTICA LUMBER GDM PROPERTIES LLC STORAGE BUILDING ELEVATIONS				<div style="border: 1px solid black; border-radius: 50%; width: 30px; height: 30px; display: flex; align-items: center; justify-content: center;"> A2 </div>
<div style="display: flex; align-items: center;"> <div style="font-size: 2em; margin-right: 5px;">D</div> <div> CONTRACTORS DESIGN ENGINEERING <small>CONSULTING ENGINEERS & SURVEYORS</small> <small>NORWALK, OHIO</small> </div> </div>				
SCALE: 1/8" = 1'-0"	DATE: APRIL 2023 BY: DEW	DESIGNED BY: DEW CHECKED BY:	PROJECT NO: 23-268	





Truss Supplier shall provide certification that trusses were designed by a Professional Engineer. The certification and truss specifications sheet shall be attached to the Plans. Temporary and Permanent Bracing shall be as recommended by the Truss Manufacturer and in accordance with "Building Component Safety Information" (BCSI 1-03) from the Wood Truss Council of America, (WTCA) and the Truss Plate Institute (TPI).

Truss connectors, framing anchors and fasteners shall be installed per manufacturer's recommendations, otherwise use dimensional lumber and specified fasteners on these plans.

All other Lumber exposed to the weather shall be SYP, No. 2, 0.4 PCF preservative treatment.

If CCA treated lumber is used, all fasteners shall be galvanized.

If ACQ treated lumber is used, all fasteners shall be stainless steel or "hot-dipped" galvanized.

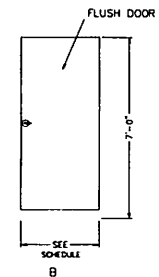
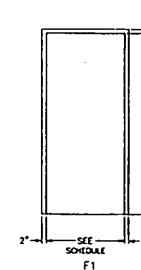
Install bottom chord bracing the entire length of building at the spacing recommended by the truss manufacturer.

Diagonal bracing shall be installed at each end of the building and at intervals recommended by the truss manufacturer.

Lumber Stresses
 2x... Joist $F_c = 675 \text{ PSI}$, $E = 1,400,000 \text{ PSI}$
 2x... Girts $F_c = 825 \text{ PSI}$, $E = 1,400,000 \text{ PSI}$
 2x... Purlins $F_c = 1050 \text{ PSI}$, $E = 1,400,000 \text{ PSI}$
 2x... Beams $F_c = 675 \text{ PSI}$, $E = 1,400,000 \text{ PSI}$



ATTICA LUMBER GDM PROPERTIES LLC STORAGE BUILDING TRUSS LAYOUT PLAN		A5
CONTRACTORS DESIGN ENGINEERING CONSULTING ENGINEERS & SURVEYORS NORWALK, OHIO		
DATE	BY	DESCRIPTION
REVISIONS		
SCALE 3/16" = 1'-0"	DATE APRIL 2023	PROJECT NO. 23-288

[illegible][illegible]



Richard H. Jeffrey

ERIE COUNTY AUDITOR | ERIE COUNTY, OHIO

912 University Drive





TO: Chairman Boyle and Members of the Planning Commission and Design Review Board
FROM: Erik Engle, Planning Director
RE: ConAgra Site- Conceptual Plan Review
DATE: May 17, 2023

Current Zoning District: MU-GD (Site was re-zoned from I-2 to MU-GD on 2-8-22 per Ordinance 2022-6)

Parcel No.: 42-61270.001

Lot Size: 11.29 acres

Subject Matter/Background

Applicant, Ridge Stone General Contractors, submitted the attached Application and Plans on 11-16-22 for a proposed subdivision on the former ConAgra Property. As proposed, the site will contain 71 residential units, a neighborhood restaurant, and several community amenity spaces including recreation trails and green space.

This parcel was rezoned back in February 2022 to Mixed Use -Granary District (MU-GD) to follow the vision of the City's Master Plan in the development of this parcel:

1127.02 (c) Mixed Use- Granary District. This district is established to ensure a cohesive and vibrant mix of uses which are developed in conjunction with a broad development plan. This section is intended to:

- (1) Promote a mix of uses, including commercial, entertainment, retail, night life, and residential space in a cohesive manner;
- (2) Encourage development that serves a regional community as envisioned within the City's Master Plan;
- (3) Provide a large-scale regional center of commerce;
- (4) Ensure organized development of large tracts of land and uses to prevent adverse effects of disjointed development; and,
- (5) Provide public access to the water front through greenspace, walking areas, and view sheds.

Section 1127.09- Granary District Building Standards has been attached in its entirety for informational purposes.

The code is flexible in relation to uses and building siting/orientation.

The proposed plans are being presented for a Conceptual Presentation #4 only at this meeting.

Project Description: Subdivision: (lots with public Streets) 71 residential units, 1 neighborhood restaurant, pond, dedicated perimeter walkway

A conceptual presentation of the proposed plans will be held at this meeting; staff is seeking Planning Commission/DRB comments and input on the proposed concept.

Staff is seeking Planning Commission/DRB comments and input on the proposed concept being presented. Pending comments/input from the Planning Commission/DRB, future meetings required by this body would include, but are not limited to:

- Preliminary Plat Approval

- Final Plat Approval

Based on the board's comments/input and the applicant's ability to submit the comprehensive plans for a Preliminary Plat Approval (Sketch Plan), the date for a public hearing should be determined in order for the Board to make a motion to set the public hearing.

Preliminary Plat Requirements: The following materials will need to be submitted for the Preliminary Plat review:

Supporting Materials:

1. Project Narrative - Explain the proposed development and/or use of lots providing type and number of dwelling units and type of business or industry (if known or applicable); State how the proposed development relates to the existing land use character of the vicinity; State how the proposed development will relate to the Huron Vision 2020 Master Plan and any other applicable standards/resolutions; State the type of sewage disposal proposed for the development if public facilities are not available. If other than a treatment plant, letters from the Ohio Environmental Protection Agency and the County Health Department stating what type of sewage disposal will be approved is required.
2. Legal description and/or property survey for each parcel included
3. List of property owners and active home-owners associations within 150 feet; parcel number, owner name, complete address

Plans and Maps:

1. Vicinity Map - north arrow, scale (100 feet or less to the inch from an accurate survey), and date; boundaries of the property with accurate distances and bearings
2. Preliminary Plat -
 - a. North arrow, scale bar, and date
 - b. The name under which the proposed subdivision is to be recorded and the names and addresses of the subdivider, the owners, and the registered engineer or surveyor platting the tract
 - c. The location of the current property, section and congressional township lines, US Survey, and lines of incorporated areas, streets, buildings, watercourses, sinkholes, tree masses and other similar existing features within the area to be subdivided and how these relate to the overall area.
 - d. Location and approximate distances of all existing buildings
 - e. Names and boundaries of all adjoining subdivisions and the names of adjoining parcels of unsubdivided land
 - f. Zoning district(s) in which the proposed subdivision is located
 - g. Existing contours with intervals of five feet where the slope is greater than 10% and not more than one foot where the slope is less than 10%. Elevations shall be based upon sea level datum. The location of bench marks and their elevation, and all other monuments shall also be shown
 - h. Proposed locations, names, and dimensions of streets, alleys, lots, building lines shown. All existing and proposed streets shall be identified and labeled
 - i. All easements labeled and dimensioned, including required 30'-0" conservation easements along floodways, if applicable
 - j. Approximate area of proposed lots in square feet
 - k. Location, invert elevation, and size of existing sanitary and storm sewers, water mains, culverts, street lights and other utilities and underground structures within or immediately adjacent to the tract
 - l. Parcels of land intended to be dedicated to or temporarily reserved for public use or reserved by deed covenant. Please include proposed conditions for any deed covenants, if applicable
 - m. For commercial, industrial, and mixed-use developments, the locations, dimensions, and appropriate grade of proposed parking and loading areas, alleys, pedestrian walks, street and the points of vehicular ingress and egress to the development

Required Plans for Final Plat Approval:

1. Final Plat
2. Landscape Plan
3. Lighting Plan
4. Pedestrian and Amenities Plan

Other Site Plan Review Materials (Internal)

1. Grading Plan - Internal
2. Conservation Plan - Internal
3. Stormwater Plan (SWPPP Review) - Internal

*All plans and maps must be to scale. Please submit five (5) small (11x17) and five (5) large (24x36) to scale copies. Please email digital files to the Planning Department.

Staff Recommendation:

Staff finds the developer has addressed all concerns from the Planning Commission pursuant to the discussion/motion made at the last April PC meeting.

The following has been included in the site plan as recommended –

1. Incorporating 3-story townhouses
2. Rear-loading the parking of the southernmost units
3. Reducing the pond footprint
4. Incorporating interior green space
5. Increasing pedestrian access/connectivity throughout the site, especially throughout the interior common space
6. Incorporating green overlook parklet areas in the Northeast and Northwest corners of the site to maximize views out to the water
7. Increasing number of off-street parking to accommodate the general public/guests
8. Staggering interior units
9. Indicating future phase to incorporate commercial at the entrance near marina overlook

Based on a rough analysis, staff would like to note the latest concept plan meets the following minimum code requirements –

1. Building Standards, Lot Standards, and Setback Requirement for the Mixed-Use Granary District have been met
2. Parking space minimums met
3. Green space requirement met, 22,000 sf minimum; proposed interior green space is roughly 84,000 sf, perimeter loop another 50,000 sf (10% required along waterfront met)

By nature of the market, staff is privy to the mostly residential nature the site will become and recommends **approval** to move forward with the formal submittal with the basic concept including road layout, perimeter pedestrian multi-use path, interior multi-use path, pond, recreation space, and overall ratio of commercial use to residential. Furthermore, staff recommends the Commission set a **public hearing date for the preliminary plat review for June 21st, 2023**.

Minimum Preliminary Plat requirements –

1. Preliminary Landscape Plan (Chapter 1131)
2. Preliminary Lighting Plan (Chapter 1127)
3. Preliminary Pedestrian and Amenities Plan (refer to Chapter 1127.09)

Attachments:

- Application
- Design Elevations
- Section 1127.09

1127.09 MIXED USE - GRANARY DISTRICT (MU - GD).

Building Standards, Lot Standards, and Setback Requirement for the Mixed-Use Granary District:

Building Standards: MU-GD

Schedule 1127.09

District Standards

District size, min. (acres) - 5

Lot Standards

Lot area, min. (sq. ft.) - N/A

Lot area, max. (sq. ft.) - N/A

Lot width, min. (ft.) - 40

Lot coverage, min. (%) - 50%

Lot coverage, max. (%) - 100%

Setback

Front, min. (ft.) - 0

Front, max. (ft.) - 50

Side, min. (ft.) - 0

Side, max. (ft.) - 50

Rear, min. (ft.) - 0

Rear, when abutting R zoned district - 15

Building Standards

Height, max. (ft.) - 75 ft. Parapet wall allowed to exceed height by 4 ft.

Gross Floor Area Maximum, Commercial (sq. ft.) - 25,000

Residential Density, Dwelling Units per acre - 50

Gross Floor Area Minimum, Residential Dwelling Unit (sq. ft.) – 700

Note: Residential adjacency standards apply and may affect setback and building height design features.

(a) Building Siting and Orientation. Buildings shall be oriented in the most logical manner dependent upon the layout of the development as a whole. Elements such as proximity and vantage point of the river and lake, proximity to streets and ways, and access of public walks and other pedestrian amenities shall be taken into account. Buildings shall be oriented in a way to promote a fluid flow of traffic, both vehicular and pedestrian-based.

(1) Entrance orientation. Entrances shall be clearly visible and identifiable from the street and delineated with elements such as roof overhangs, recessed entries, landscaping, or similar design features. The primary entrance must be placed along the frontage of any pedestrian or vehicular way. A secondary entrance is permitted in the case that the respective side of a building is adjacent to the waterfront and must also be identifiable by architectural design treatment.

(b) Uses. Permitted, conditional, and accessory uses may occur within each building type as specified in Appendix A, Permitted Uses.

(c) Parking.

(1) This district is intended to promote pedestrian and bicycle access, with as little space taken up by parking surface area as possible ensuring quality urban design. Therefore, the incorporation of jointly used parking structures shall be utilized as part of a general development concept.

(2) Required spaces. The spaces within the district shall be determined based on the schedule set forth in Chapter 1133 Off-street Parking and Loading Regulations. In order to foster more dense development, the use of parking structures is permitted.

(d) Signs. The installation and maintenance of signage shall be done in accordance with Chapter 1129 Sign Regulations and the provisions of this Chapter. Additional regulations include the following:

(1) Pole signs are prohibited.

(2) Wall and projecting signs are encouraged. Projecting signs may be up to ten (10) feet in height on one-story buildings and fifteen (15) feet in height on two (2) or more story buildings.

Signs must not project further than five (5) feet from the part of the building the sign is affixed to. All projecting signs shall be placed so that the base of the sign is at least ten (10) feet above ground level, except when the projecting sign is located above a landscaped area or other area that does not permit pedestrian or vehicular traffic beneath the sign, in which case the sign must be placed so that the base of the sign is at least six (6) feet above ground level.

(e) Landscaping. The installation and maintenance of landscaping materials shall be done in accordance with Chapter 1131 Landscape Requirements.

(f) Sidewalks and Pedestrian Amenities. Pedestrian circulation shall be addressed with the use of sidewalks and other modes of internal connections. Each general development concept within this district, shall have a pedestrian amenities plan. The plan shall include the following:

(1) Interconnected pedestrian plan that allows for continuous access to all uses within the development area.

(2) Indication of surface materials being used, which shall include visually attractive and durable, low-maintenance surface materials such as pavers, brick, or concrete.

(3) Streetscape design features shall be incorporated, including decorative lighting, benches, landscape materials and shade trees, and other architectural features highlighted within the Master Plan.

(4) Design specifications for all pedestrian amenities. Perimeter paths and pedestrian walkways should be a minimum of six (6) feet wide. Interior paths and pedestrian walkways shall be a minimum of four (4) feet wide, except when along the frontage of a building or structure which encompasses the main entrance, in which case the walkway shall be six (6) feet in width.

(g) Greenspace and Public Amenities. Areas of lawn, trees, and other vegetation or artistic architectural structures set apart for passive recreational use or aesthetic purposes must be provided as part of a general development concept.

(1) Requirements. A minimum of two thousand (2,000) square feet of public greenspace must be provided for every one (1) acre of development.

(2) Design. Creativity is strongly encouraged within greenspace areas.

(3) Location. Ten percent (10%) of the green space shall be adjacent to the water front in order to maintain public access to the water front.

(h) Internal Streets and Vehicular Circulation. Internal streets shall be constructed with curbs to define the limits of the roadway. Internal streets shall be constructed in the same manner as specified by the Thoroughfare Plan: Neighborhood Link. Streets shall be laid out in a system designed to minimize pedestrian and vehicular conflicts and to promote the fluid flow of traffic.

(i) Lighting. Lighting shall be installed using a combination of attractively designed fixtures of varying heights throughout the development, including along pedestrian ways, along streets,

and within parking areas to provide a safe, secure, and aesthetically pleasing development. Lighting within the district shall be employed in such a manner as to prevent glare or direct light onto adjacent residential property.

(j) Curb Cuts and Access Points. This district should be developed and planned with prioritization placed on pedestrian and bicycle traffic, with curb cuts and access points segregated as much as possible. (Ord. 2015-7. Passed 8-25-15.)

1127.10 VARIATIONS TO AN APPROVED GENERAL DEVELOPMENT CONCEPT.

(a) Minor Variations. Minor variations from an approved General Development Concept may be approved by the Planning Commission upon finding that the variations are generally in keeping with the spirit and concept of the approved General Development Concept, in accordance with the conditions required by the City Council in its approval, and in accordance with the requirements of this Chapter. For the purposes of this Section, a minor variation shall include:

(1) Small, incidental alterations to the location or number of spaces in off-street, surface parking lots.

(2) Small, incidental construction of accessory structures;

(3) Incidental increases/decreases in the square footage of principal buildings. Any increase in the overall number of permitted dwelling units shall not be considered a minor variation;

(4) Minor alterations in the placement of dwelling units within a phase of the overall project;

(5) Minor design modifications that will have no discernible impact on neighboring properties, the public, or those intended to occupy or use the proposed development.

(b) Other than Minor Variations. All variations contained on a development plan that are not described in this chapter shall be reviewed by the Planning Commission. If the Planning Commission finds that such variations are generally in keeping with the spirit and concept of the approved General Development Concept, in accordance with any required conditions, and in accordance with the requirements of this Chapter and this Code, the Planning Commission shall approve such variations.

(c) If approval of any variations to a General Development Concept result in a necessary change to existing zoning or previously authorized development agreements, the Planning Commission must forward the revised General Development Concept and any relevant zoning amendments or revised development agreements to City Council for review and approval.

(d) Upon receiving a recommendation from the Planning Commission for approval of any zoning amendments or development agreements necessary for the proper execution of a

revised General Development Concept, the City Council will review the General Development Concept. Any zoning amendments shall be done in accordance with procedures spelled out within section 1139.03 of the Huron Planning and Zoning Code. Any development agreements shall be authorized in the manner of a Resolution.

(e) Failure on the part of the Developer to conform to said plans included within the General Development Concept, and/or applicable Municipal requirements and/or the terms and conditions of the City's approval shall be grounds for action by the City.

(f) Amendments to a General Development Concept. Amendments to a General Development Concept, whether by the original applicant or subsequent applicants, shall be submitted and reviewed in accordance with procedures set forth in this Chapter regarding Conformity to Standards, General Development Concepts, and Procedures for Approval.

(Ord. 2015-7. Passed 8-25-15.)

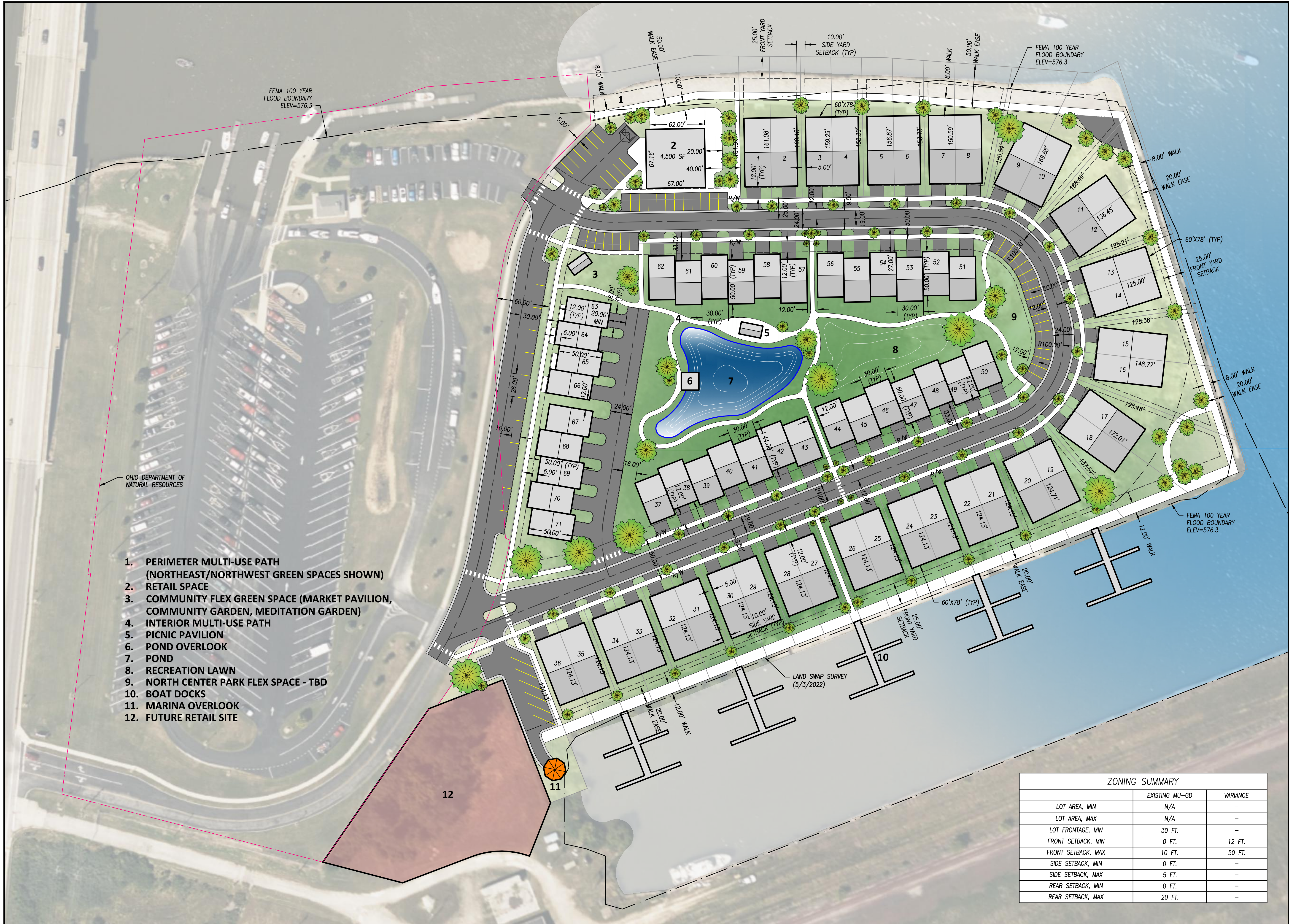
Appendix A - Permitted Uses

Use	MU-RFD	MU-CD	MU-GD
Residential and Lodging			
A. Single-family dwellings	NP	NP	NP
B. Townhouses, stacked or otherwise	P	P	P
C. Dwelling units on the first floor of a commercial building	NP	NP	NP
D. Dwelling units above the first floor of a commercial building	P	P	P
E. Hotel, 16 or fewer guest rooms	P	NP	P
F. Hotel, greater than 16 guest rooms	P	P	P
G. Bed and Breakfast	P	NP	NP
H. Transient Rental	P	P	P
Office and Professional Services			
A. Administrative, business and/or professional office	P	P	P
B. Bank and other financial institutions (not payday loan centers)	P	P	P
C. Medical or Dental Office	NP	P	P
D. Medical, Dental or Health Services Clinic (Definition examples)	NP	P	P
E. Veterinary service clinics	NP	NP	NP
Retail, Entertainment and Services			
A. Retail establishments	P	P	P
B. Restaurant, indoor seating	P	P	P
C. Restaurant, outdoor seating	P	P	P
D. Drive-thru facility	NP	NP	NP
E. Bars and Taverns	P	P	P
F. Artisan studios, photography shops, and art galleries	P	P	P
G. Grocery Stores	NP	NP	NP
H. Anchor or box retail	NP	NP	P

I. Outdoor displays or sales	C	C	P
J. Service establishment, personal	P	P	P
K. Bakery	P	P	P
L. Farmers Market or open air market	P	C	C
M. Breweries, distilleries, wineries and associated tasting rooms	P	P	P
N. Strip center development	NP	NP	NP

Entertainment - Recreation			
A. School, specialty or personal instructor	P	P	P
B. Theater, indoor	P	P	P
C. Assembly hall, membership club, conference center	P	P	P
D. Public park or playground area	P	P	P
E. Accessory outdoor recreational facilities	P	NP	P
F. Bowling alleys	P	NP	P
Community and Civic Facilities/Other			
A. Places of worship/Church	P	P	P
B. Library	P	P	NP
C. Cultural institution	P	P	NP
D. Governmental offices	P	P	NP
E. Parking surface area	P	P	P
F. Parking structure	P	P	P

(Ord. 2022-5. Passed 2-8-22.)



PRELIMINARY
May 08, 2023

NO		REVISION	DATE
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DGL
 CONSULTING ENGINEERS, LLC
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HURON MARINA
RESIDENTIAL DEVELOPMENT
 CLEVELAND ROAD
 HURON, OHIO 44839
 ERIE COUNTY
 OUTLOT 31

PRELIMINARY PLAN

FILE: 22024 PP.dwg
 JOB NO.: 22024
 DRAWN BY: CJG
 ISSUED: PRELIMINARY

1/1

ZONING SUMMARY		
	EXISTING MU-GD	VARIANCE
LOT AREA, MIN	N/A	-
LOT AREA, MAX	N/A	-
LOT FRONTAGE, MIN	30 FT.	-
FRONT SETBACK, MIN	0 FT.	12 FT.
FRONT SETBACK, MAX	10 FT.	50 FT.
SIDE SETBACK, MIN	0 FT.	-
SIDE SETBACK, MAX	5 FT.	-
REAR SETBACK, MIN	0 FT.	-
REAR SETBACK, MAX	20 FT.	-